

REQUIRED INFORMATION FOR SUBMITTAL

CHECKLIST FOR GARAGE

- _____ Completed application with Tax Identification Number and signatures
- _____ Plat of survey for entire parcel showing exact location of driveway and buildings both existing and proposed and the acreage amount of that parcel.
- _____ Contractor List (Must be Licensed by the County)
- _____ Approved culvert permit from Township Road Commissioner
- _____ Fire Department approval of Driveways when > 200'
- _____ Septic and well clearance from Environmental Health Department
- _____ Drainage District notification
- _____ Two Complete set of Plans (One set will be returned
- _____ Floodplain Survey If in Floodway.

Grundy County Land Use
 1320 Union Street
 Morris, IL 60450
 Heidi Miller Director/ Cheryl Wardell Assistant
 815-941-3228 / 815-941-3229
 E-mail: hmillier@grundyco.org



BUILDING PERMIT APPLICATION

1. Owners Name _____
2. Mailing Address _____ City _____ Zip _____
3. Telephone (home) _____ Cell _____
4. Building Address: _____ City _____ Zip _____
5. Property Tax I.D. _____ Cost of Improvement _____
6. Contractor Name _____ Contact # _____
7. Description of Improvement: _____

7. Building Dimensions W: _____ L: _____ H: _____	8. Area Added Basement _____ sq. ft. 1 st Floor _____ sq. ft. 2 nd Floor _____ sq. ft.	9. Stories (Please check) <input type="radio"/> 1 - Story <input type="radio"/> 2 - Story <input type="radio"/> Other _____
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10. # of bedrooms _____ 11. # Of bathrooms Full _____ $\frac{3}{4}$ _____ $\frac{1}{2}$ _____
12. Sign Wall Ground Illuminated Non-Illuminated
 Width _____ Length _____ Lot Frontage _____ height _____

No error or omission in either the plans or application, whether said plans or application has been approved by the building inspector or not shall permit or relieve the applicant from constructing the work in any other manner than that provided for in the ordinance of this municipality relating thereto. The applicant having read this application and fully understanding the intent thereof declares that the statements made are true to the best of my knowledge and belief.

Signature of Applicant: _____ Date: _____

Issued by: _____ Date: _____ Permit Expiration Date: _____

Total for Permit: _____ Approved by: EH____FD____ Zoning _____ Permit# _____

Payment /Type: Cash _____ Check # _____ Date Paid _____ Receipt # _____

Project Contractors

General Contractor: _____ Phone #: _____

Address: _____ Cell #: _____

_____ Fax #: _____

Excavation Contractor: _____ Phone #: _____

Address: _____ Cell #: _____

_____ Fax #: _____

Electrical Contractor: _____ Phone #: _____

Address: _____ Cell #: _____

_____ Fax #: _____

Roofing Contractor: _____

Address: _____ Phone #: _____

_____ State License #: _____

Concrete Contractor: _____ Phone #: _____

Address: _____ Cell #: _____

_____ Fax #: _____

HAVC: _____ Phone #: _____

Address: _____ Cell #: _____

_____ Fax #: _____

Insulation: _____ Phone #: _____

Address: _____ Cell #: _____

Dry Wall Contractor: _____ Phone #: _____

Address: _____ Cell #: _____

OTHER _____ Phone # : _____

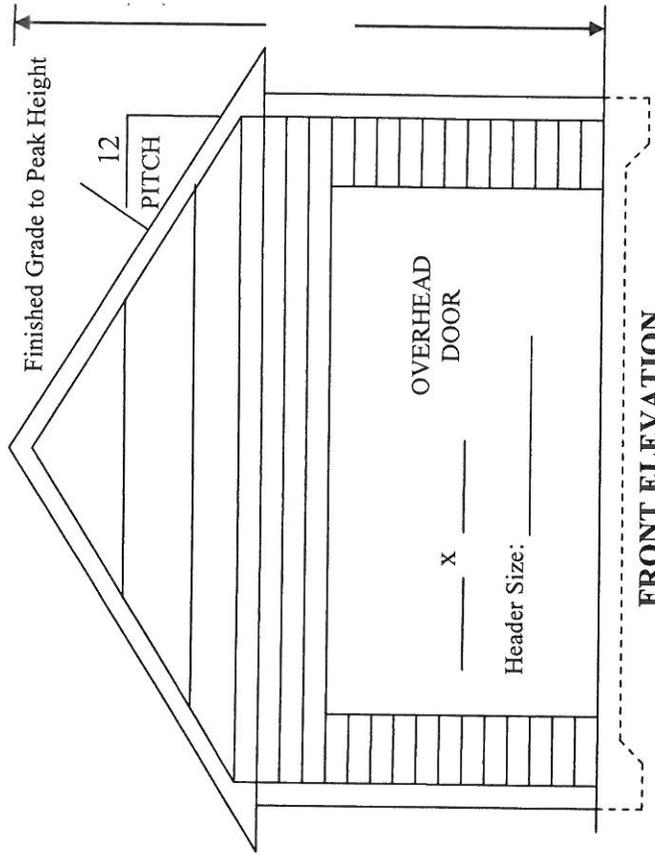
Address: _____ Cell #: _____

Plumbers' are required to submit a letter of intent on company letter head and provide a copy of their state contractor license and plumbing license.

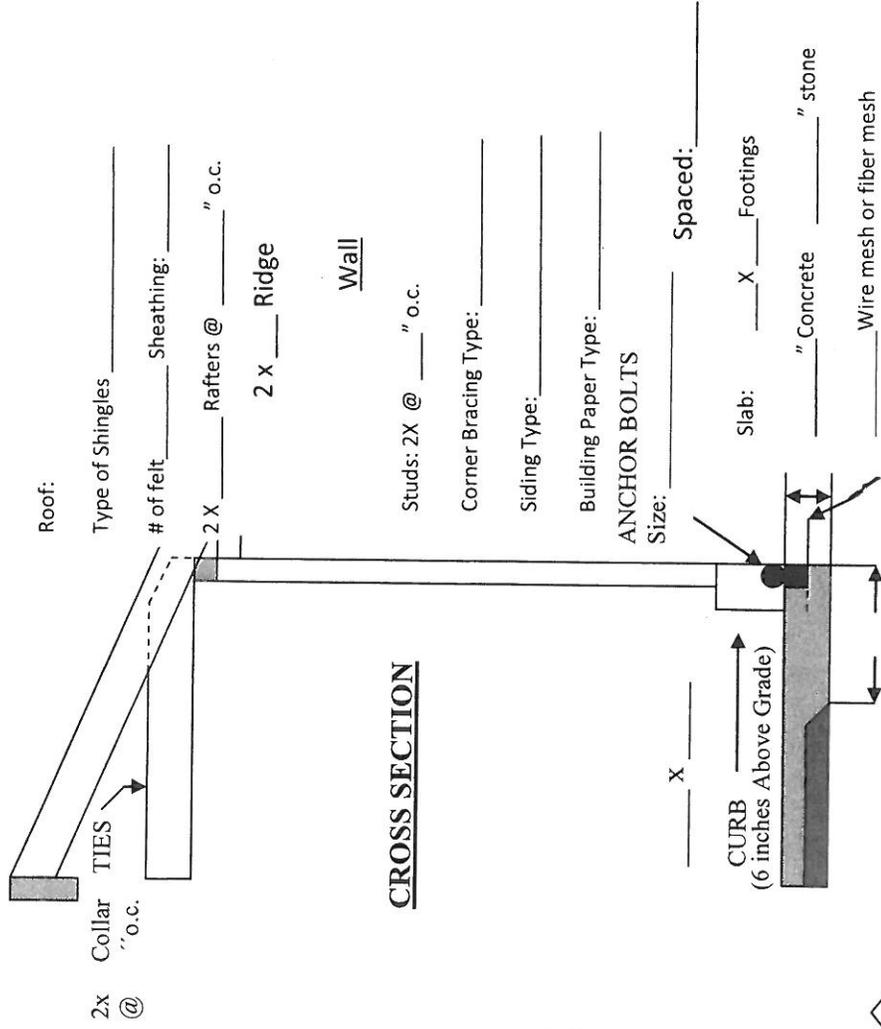
If there are any changes made to the above list of contractors, inform the Building and Zoning Office immediately at (815) 941-3228.

Detached Garage: 1) Fill in the Blanks 2) Provide Plans 3) Provide truss certifications if applicable 4) Provide Electrical & Plumbing Plans if applicable

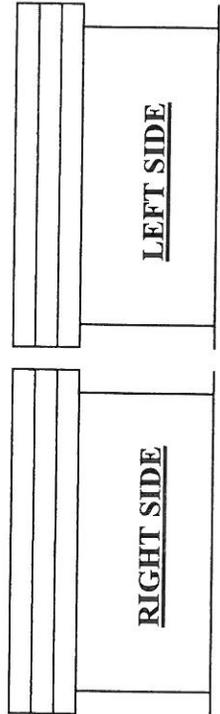
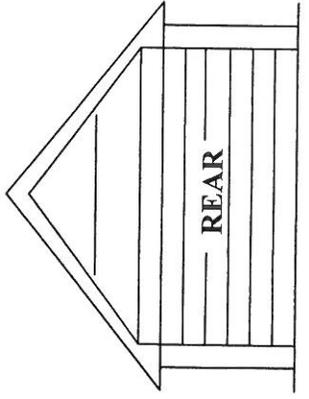
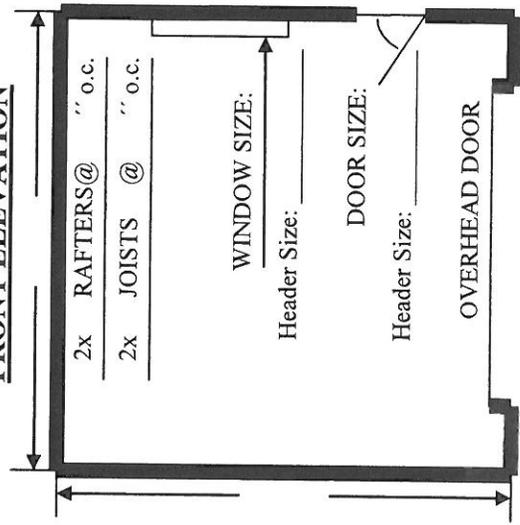
Using the illustration below, draw in size and locations of all doors & windows.



CROSS SECTION



FLOOR PLAN



- 1 copy of your plat of survey accurately indicating the following:
- A) Location and dimensions of the proposed garage.
 - B) Locations and dimensions of all structures on the lot.
 - C) The distance from the shed to the lot lines and other nearby structures

Property Index Number: _____

Cost of Improvement: _____

I understand that I must comply with all the rules and regulations of the Grundy County Building and Zoning Office. I understand that no occupancy of the structure should occur until an Occupancy Permit has been completed.

Home Owner(s): _____ Date: _____
(signature)

As the General Contractor, I have read the Information Packet and completed the specification sheet. I understand that all rules and regulations of the Grundy County Building and Zoning Office shall be complied with and that an Occupancy Certificate must be issued prior to occupancy of the structure.

General Contractor: _____ Date: _____
(signature)

INSPECTION INFORMATION

BUILDING INSEPTIONS: Mondays, Thursdays and Fridays

PLUMBING INSPECTIONS: *Mondays* and Thursdays after 3:00 PM

A twenty-four (24) hour notice in advance for all inspections is required. Please provide the name of the applicant, address and phone number in case the inspector needs make contact.

INSPECTIONS NEEDED

1. LOCATION: Proposed construction needs to be staked such that the inspector will be able to determine that the required setbacks have been followed.
2. UNDERGROUND PLUMBING (where applicable)
3. PRE-POUR FOR CONCRETE
4. ELECTRICAL SERVICE OR EXTENSION OF ELECTRIC CABLE PRIOR TO BACKFILL
5. ROUGH FOR ALL TRADE WORK: Must be completed prior to any insulating or drywall work. This would include the inspection of all carpentry, electric and plumbing.
6. FINAL: This would include plumbing where applicable.

SETBACK REQUIREMENTS FOR ALL ZONING DISTRICTS

Outbuildings under the A & A-R districts

Front yard- 50'

Side & Rear Yards 10'

ANY BUILDING HOUSING ANIMALS MUST BE 100' OFF OF ALL LOT LINES

Outbuildings under the R district

Front yard- 25'

Side & Rear Yards 10'

AREA/HEIGHT LIMITATIONS: The maximum area for the accessory buildings that are constructed on a lot shall not exceed 5,000 sf and 25'-0" in height.

Illinois Route 47 Setbacks

Setback - 40' from the center line required for frontage road.

Additional - 40' required for frontage road.

Example - 40' + 40' + Zoning District Setback = Total Setback.

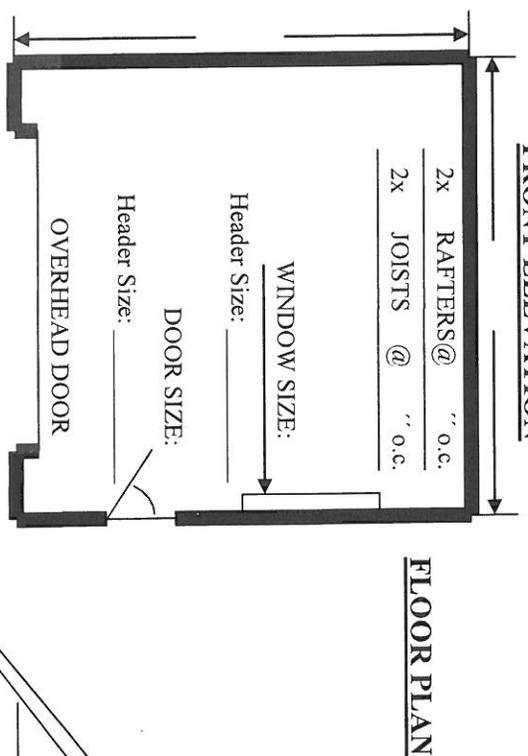
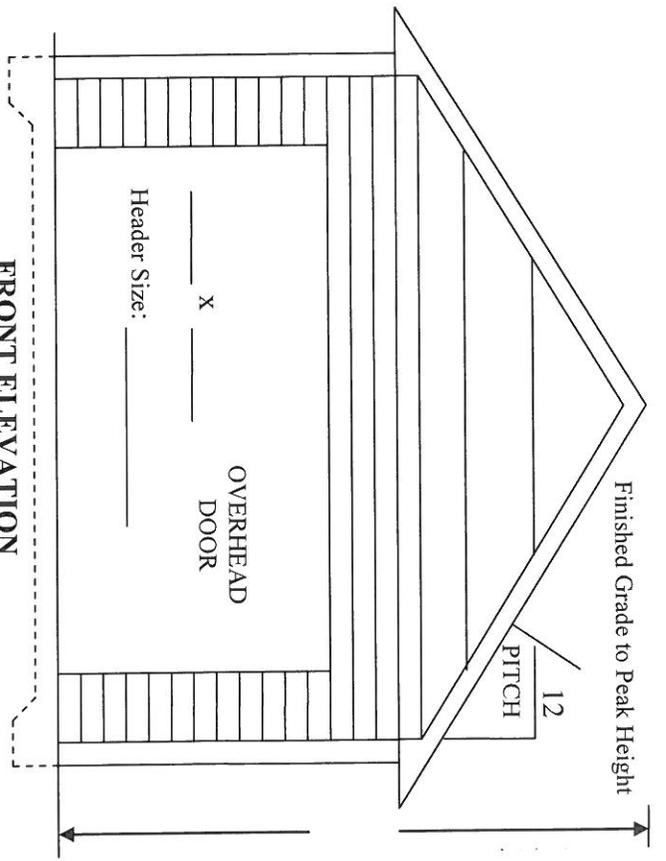
Setback District for Thoroughfares: (roads, streets, highways)

One-half the required width of the thoroughfare- measured from the center lines of the existing thoroughfare. Thoroughfares shall include federal, state, county highways and township roads.

- 1) Ex: Road way is 100' wide then 100' divided by 2 equals 50'. 50' is the setback plus the yard requirement for that district.
- 2) Ex: In a district which has front yard requirement of 25' as in an R-2 district and a 100' road way width then the distance for a structure to be located is 75' from the center line.
- 3) Ex: If road way is 66' and yard required is 50' then the total setback is 83'; because 66' divided by 2 equals 33' and 33' plus 50' equals 83'.

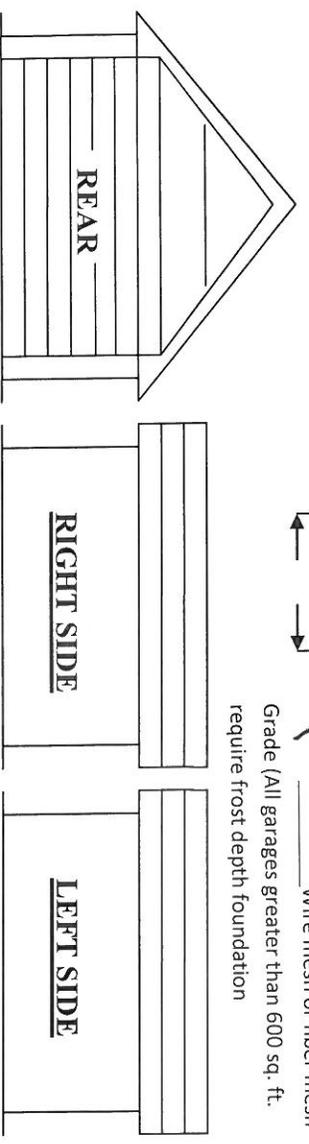
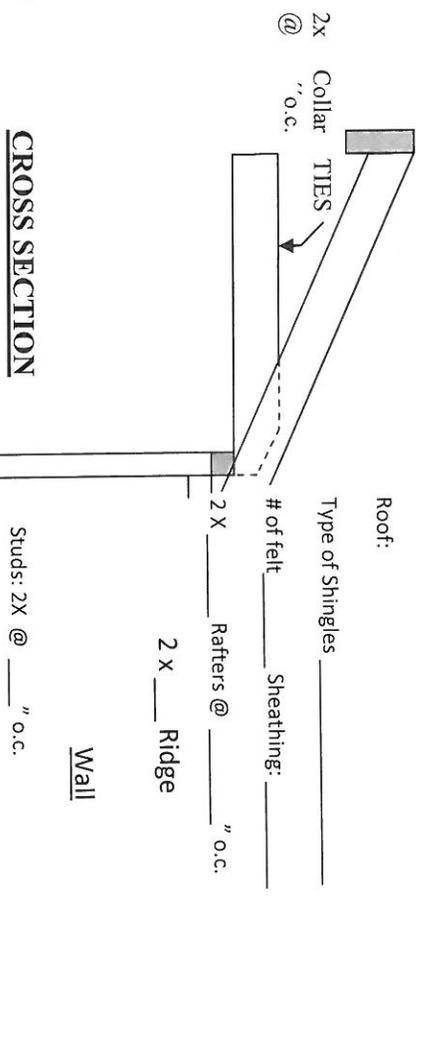
Exception to the above rule:

- 1). Setback where streets are not designated as a thoroughfare then setback is only what is required for the front or side yard in that district. Ex: a lane would be classified as a non-designated thoroughfare, and would only have to have the front and/or side yard setback.
- 2). And when there are existing structures occupying more than 30% of the street frontage within 1,800' or block, which ever the less, then the setback can be the average setback line of the existing structures.



Detached Garage: 1) Fill in the Blanks 2) Provide Plans 3) Provide truss certifications if applicable 4) Provide Electrical & Plumbing Plans if applicable

Using the illustration below, draw in size and locations of all doors & windows.



- 1 copy of your plat of survey accurately indicating the following:
- A) Location and dimensions of the proposed garage.
 - B) Locations and dimensions of all structures on the lot.
 - C) The distance from the shed to the lot lines and other nearby structures

Drainage District Notification Letter

Drainage District Effected: _____

Name: _____

Address: _____

Phone Number: _____

Improvement: _____

I hereby verify that the above listed information is true.

Signature

Date

Please provide this verification sheet to your Drainage District representative and also provide a copy of this to our office at the time of permit application.

**SETBACK RESTRICTIONS TO SEWAGE DISPOSAL SYSTEMS
FOR PROPOSED CONSTRUCTION**

In order to receive a building permit for:

A) Additions to Single Family Residences that DO NOT INCLUDE the addition of bedrooms or plumbing facilities:

B) Decks

C) Accessory buildings (containing no plumbing facilities)

The following setbacks to all portions of the sewage disposal system shall be adhered to as required by the Grundy County Health Department:

PROPOSED CONSTRUCTION AS DESCRIBED ABOVE	SETBACK TO SEPTIC TANK	SETBACK TO SEPTIC FIELD
A	10'-0"	10'-0"
B	10'-0"	10'-0"
C	10'-0"	10'-0"

In order to receive a building permit for the above listed construction projects, I (we) as the owner(s) or authorized agent for the owner(s) have read and understand the above listed setbacks of the proposed construction to the septic tank and septic field and will adhere to them throughout the construction process.

I (we) understand that failure to comply with these setbacks is a violation of the State and County Regulations and may cause failure to the septic system located on this property. I (we) also understand that the Grundy County Health Department may inspect our property to enforce these regulations.

Signature

Date

Grundy County Fire Service Driveway Specifications

This form is to be completed by the property owner, approved by the Fire Department having jurisdiction and returned to the Grundy County Zoning Office. These are minimum specifications and apply only to driveways in excess of 200 feet in length (property line to structure).

Property Owner Name: _____

Address: _____

City _____, IL, _____

Telephone Number: _____ Tax ID Number:

Effected Fire Department: _____

Specifications:

1. Unrestricted Height B Minimum 14 feet (Maintained by property owner)
2. Unrestricted Width B Minimum 16 feet (Maintained by property owner)
3. Driveway installed per attached: A Private Road Standards B Connection to Public Roads@
 - a. Driveway to be complete prior to combustibile material being brought on site.
4. Gates:
 - a. Minimum width B 16 feet
 - b. Must be recessed off of the right away a minimum of 48 feet. This will provide the necessary turning radius, allowing fire apparatus entrance.
 - c. The department having jurisdiction may require the installation of a Knox Box at the gate.
 - i. Knox Box to be installed at the expense of the property owner.
5. Culvert to be installed per : A Private Road Standards B Connection to Public Roads@
 - a. Minimum turning radius of 45 feet.
 - b. Culvert must be galvanized.
 - c. The length of the culvert will be determined by the depth that the culvert is installed.
6. At the residence end of the driveway there must be:
 - a. An unrestricted area 60 feet by 60 feet allowing the fire department adequate space to operate in event of an emergency. This space will be constructed to the same specifications as the driveway.
 - b. The location of this space shall be within 75 feet of the structure.
7. Provide and include the following attachments:
 - a. County plat with property and location of driveway clearly marked on it.
 - b. Plat of the property with location of driveway clearly marked on it.
8. A reflective numerical sign will be installed at the driveway entrance.
Sign will be specified by the fire department having jurisdiction.

The inspection of the driveway construction will be a function of the Grundy County Zoning Officer.

A waiver approved by the fire department having jurisdiction must accompany this form for all deviations from these specifications.

Signature of Fire Chief or Designee

Date _____ / _____ / _____

Grundy County Fire Service Driveway Specifications

Waiver Form

The following are deviations from the Grundy County Fire Service Driveway Specifications@. These deviations are approved by the Fire Department having jurisdiction.

\$

\$

\$

\$

Knox Box:

Yes

No

Date: ____/____/____

Signature of Fire Chief or Designee

GRUNDY COUNTY
CULVERT/ENTRANCE PERMIT

In order to receive a building permit, your entrance culvert must be properly installed. **This form must be completed** and returned to Grundy County Building and Zoning Office **after the culvert has been installed** and approved by the highway authority.

Location or address of the property _____

Name of road providing access to property _____

Highway Authority (County or Township) _____

Length and diameter of culvert installed _____

Culvert material (corrugated metal, plastic, etc) _____

Name of Property Owner

Address:

Installation of culvert and entrance approved by:

Signature

Title

Date

Grundy County Township Highway Commissioners

<u>Township</u>	<u>Highway Commissioner</u>	<u>Address</u>
Aux Sable 942-9630 (Garage)	Ray Underhill 815-467-6832	8960 E. Route 6 Morris, Illinois 60450
Braceville 237-2000 (Garage) 237-9850 (Office)	Greg Hodgen 815-634-2906	3935 N. Merrill St Braceville, Illinois 60407
Erienna 735-5416 (Cell)	Stephen Mann 815-357-8659	7200 West Old Stage Road Morris, Illinois 60450
Felix 634-7288 (Garage) 671-1609 (Cell)	David Allen 815-634-4131	615 N. 5 th St. Carbon Hill, IL 60416
Garfield 237-8070 (Garage) 343-2367 (Cell)	Dean Christenson 815-237-2350	P.O. Box 323 307 Cedar Street Gardner, Illinois 60424
Goodfarm 584-3357 (Garage) 252-0454 (Cell)	James Roeder 815-584-0454	840 Scully Rd. Dwight, Illinois 60420
Goose Lake 942-5706 (Garage) 405-9105 (Cell)	Bruce Trotter 815-634-4168	525 North Gorman Road Mazon, Illinois 60444
Greenfield 237-2098 (Garage) 585-2663 (Cell)	Ken Lampert 815-237-8898	Oak Street, Box 118 So. Wilmington, Illinois 60474
Highland 586-4613 (Garage) 405-0381 (Cell)	Mark Harlow 815-392-4267	P.O. Box 766 Kinsman, Illinois 60437
Maine 252-7994 (Cell)	Duane Francois 815-634-8994	2075 S. Jugtown Rd. Coal City, IL 60416
Mazon 448- 2267 (Garage)	Edwin Walker 815-448-2420	R.R. #1, Old Mazon Road Mazon, Illinois 60444
Nettle Creek 509-7800 (Cell) 955-4219 (Cell)	Ryan Cryder 815-942-2938	5240 W. Airport Road Morris, Illinois 60450
Norman 228-3860 (Cell)	Brad Baker 815-942-3860	955 N. Gonnam Rd. Verona, Illinois 60479
Saratoga 942-2139 (Garage)	Matt Wickens 815-941-2904	9520 Lisbon Rd. Morris, IL 60450
Vienna 815-287-9831 (Garage) 474-0438 (Cell)	James Gonnam 815-287-2676	555 South Gonnam Road Verona, Illinois 60479
Wauponsee 815-942-4243 (Garage) 509-9744 (Cell)	Mark Doerfler 815-942-1344	675 E. Southmor Rd. Morris, Illinois 60450